

The background features a complex geometric design. The top left corner is filled with a pattern of overlapping yellow and light blue lines. Below this, a series of light blue chevron shapes are layered over a dark teal background with a white dot pattern. The bottom right corner is a solid yellow area with a grid of pink dots. The text is positioned in the bottom left, overlapping the yellow and teal sections.

# YANCHEP JUNCTION

Design Handbook

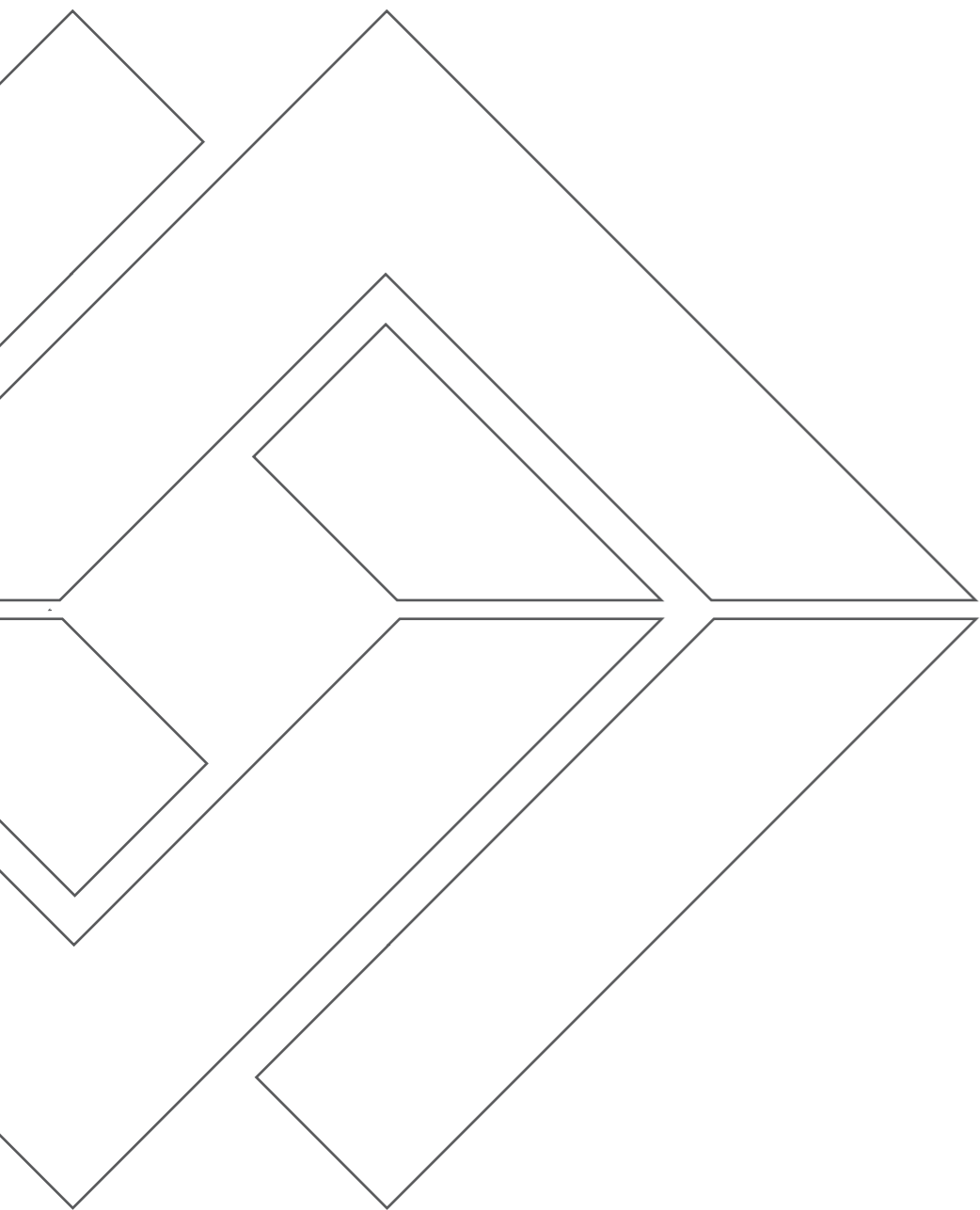
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# 1 | DESIGN ELEMENTS OVERVIEW + ASSESSMENT



# 1.0 Overview and Assessment

## 1.1 Overview

The 'Design Handbook' has been produced by the Wolfdene Design Review Committee (WDRC) to protect the investment of our purchasers and achieve the optimum image for the project.

Architects, builders and landscapers play an essential role in bringing Wolfdene's developments to life and helping us realise our community vision.

The advice provided to purchasers and the choices they make will define the character of the streets and contribute to the legacy of the neighbourhood as a whole.

The information contained in this document has been developed to ensure all stakeholders act in the best interests of the community during the design and build process.

## 1.2 Utilising the Design Handbook

The Yanchep Junction Design Handbook contains specific requirements and recommendations to assist with the design of your home and outdoor areas.

Each category within the handbook is divided into three sections - Design Intent, Design Standards and Recommendations.

The Design Intent is at the beginning of each section and outlines the purpose of the Design Standards.

Extending from the intent are a number of mandatory requirements (Design Standards) that support the vision for this neighbourhood. These Standards must be incorporated into the design of your home in order to attain approval from the WDRC.

Helpful building and landscape tips in the form of Recommendations then make up the third element. An example has been provided below.

**DESIGN INTENT**  
To help owners understand the purpose of each design element, we have provided a brief description. This should be used as a general guide for the design of your new home and landscaping.

**DESIGN STANDARDS**

1.1.1	These are mandatory design and construction controls which must be complied with in order to receive approval from WDRC - prior to commencing construction of your home.
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**RECOMMENDATIONS**

- These are guides to design and construction that have been developed by our design team to help you achieve the most comfortable, attractive and sustainable housing and landscape solutions.

The WDRC is here to assist you and your builder through the Design Standard requirements.

We recommend that during the initial stages of design that you contact Wolfdene Design Review Committee to discuss the Design Handbook.

## 1.3 Design Assessment Process

Before commencing construction, the WDRC will assess building plans to ensure that they conform to the Design Standards identified in the Yanchep Junction Design Handbook.

The Design Approval Checklist (see section 7 of this Handbook) must be submitted along with floorplans and elevations to the WDRC. If the design complies, you will be notified by the WDRC of your application approval.

However, if an application is unsuccessful, the WDRC will provide you with guidance to refine and amend the design. Once this has been completed you will be required to re-submit your application and design.

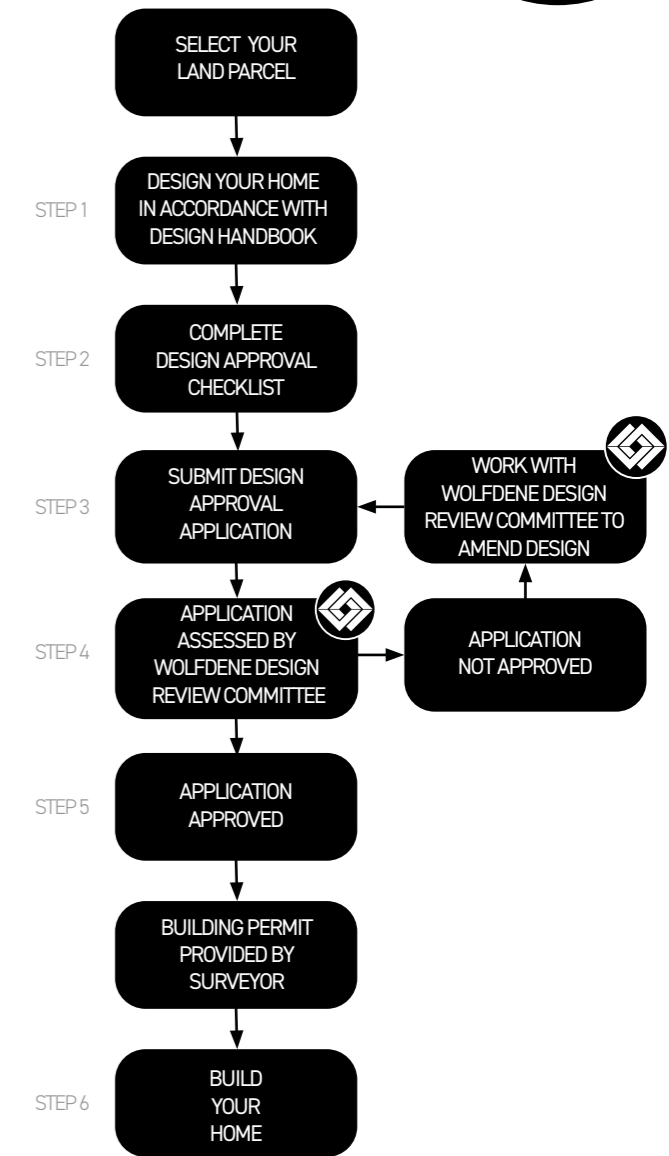
Upon receiving approval from the WDRC, you are responsible for then obtaining building approval from the Local Council / independent Building Surveyor and/or any other governing authority.

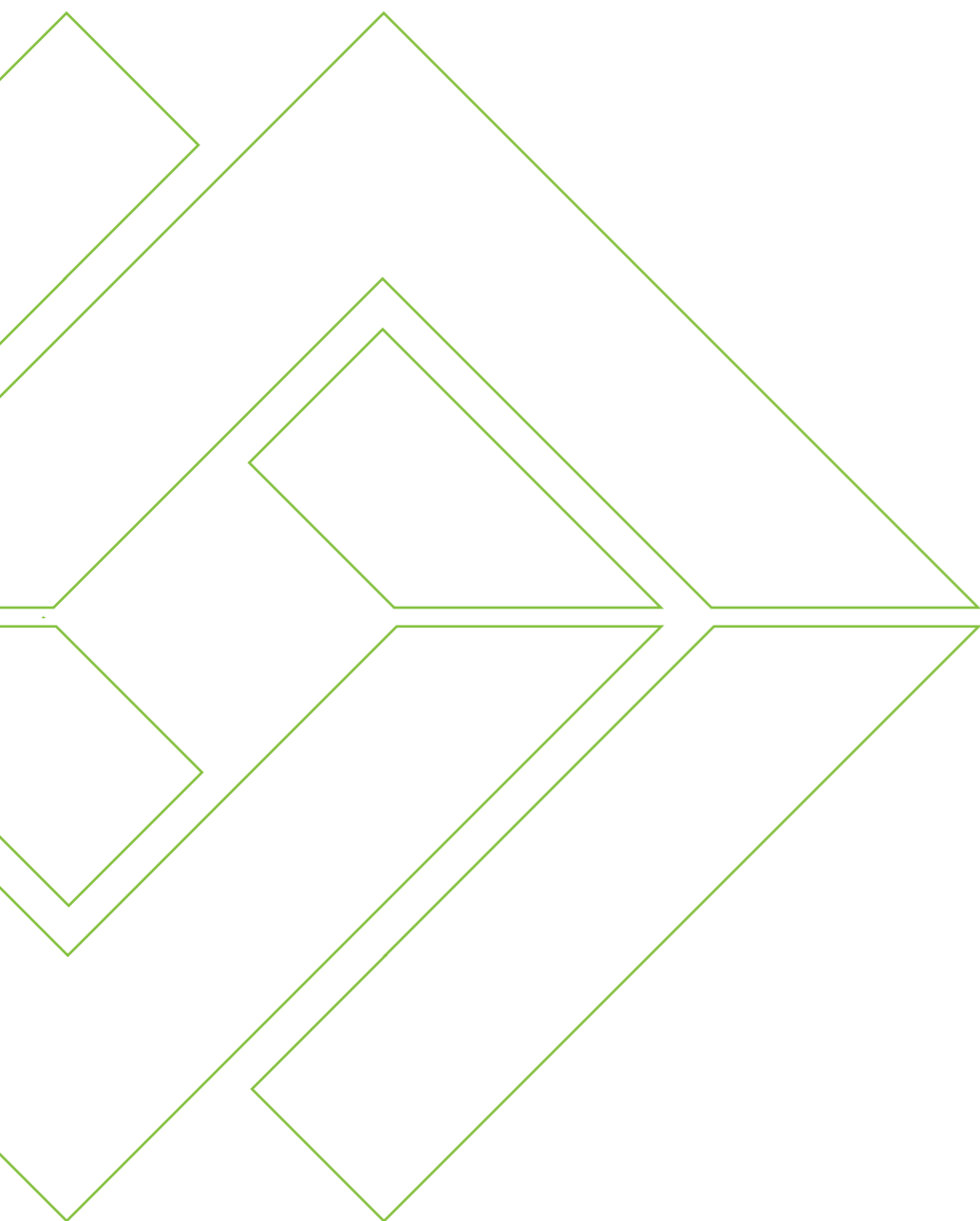
Prior to construction, it will be the purchaser's responsibility to ensure that the submitted documents comply with all relevant controls, such as:

- Restrictive Covenants;
- R-Codes;
- Local Development Plan;
- Contracts of Sale;
- City of Wanneroo Planning Scheme; and
- The Design Handbook.

In the event of any conflict arising between the Restrictive Covenants, Outline Development Plan, the Special Conditions within the Contract of Sale or the Design Handbook, the ranking in priority will be as follows:

- 1) Restrictive Covenants;
- 2) Local Development Plan;
- 3) R-Codes;
- 4) Special Conditions in Contract of Sale; and
- 5) Design Handbook





# 2 | DESIGN ELEMENTS ENERGY + SUSTAINABILITY



## 2.0 Energy + Sustainability

### 2.1 Site Orientation + Ventilation

**DESIGN INTENT**

To reduce the amount of greenhouse gas emissions generated by heating and cooling through ensuring that your home is correctly sited and orientated, maximising the benefits of solar access.

The correct location of your home on the lot will provide many advantages such as:

- Energy efficient designs that will lead to reduced resource consumption and therefore cost savings on your energy bills;
- Maximising quality solar access to external/internal living areas and private open space; and
- Maximising solar access during winter months and minimising solar access during the summer months.

DESIGN STANDARDS	
2.1.1	Orientate your home to capture prevailing breezes and utilise potential cross ventilation and passive cooling in the summer months.
2.1.2	Orientate your home to provide best solar access. Ensure your home and associated outdoor spaces are positioned on the lot in a manner that will enhance solar amenity of the primary living areas, both internal and external.

**RECOMMENDATIONS**

- Provide natural cross ventilation by strategically placing windows to encourage the flow of breezes through the full extent of the room and home;
- Locate your living areas to maximise the solar aspect of your property;
- Install insect screens and door catches to enhance ventilation and insulation; and
- It is encouraged that your home design goes beyond the requirements necessary to comply with the energy efficiency rating standards. For more information and tips please visit [www.yourhome.gov.au](http://www.yourhome.gov.au)

### 2.2 Energy and Material Efficiency

**DESIGN INTENT**

To maximise the use of sustainable materials and appliances that contribute to thermal efficiency, and to incorporate energy efficient appliances and fixtures in your home.

DESIGN STANDARDS	
2.2.1	Your home must achieve a minimum 6 star energy efficiency rating as legislated by the Building Code of Australia.
2.2.2	Thorough use of draught seals should be used throughout your home in order to draught-proof and reduce energy consumption.

**RECOMMENDATIONS**

- There are a range of energy monitoring products available to enable you to effectively understand, control and reduce the use of electrical energy. Smart sockets, intelligent intra-red AC controllers and shower-timers are encouraged in your home.

### 2.3 Healthy Homes

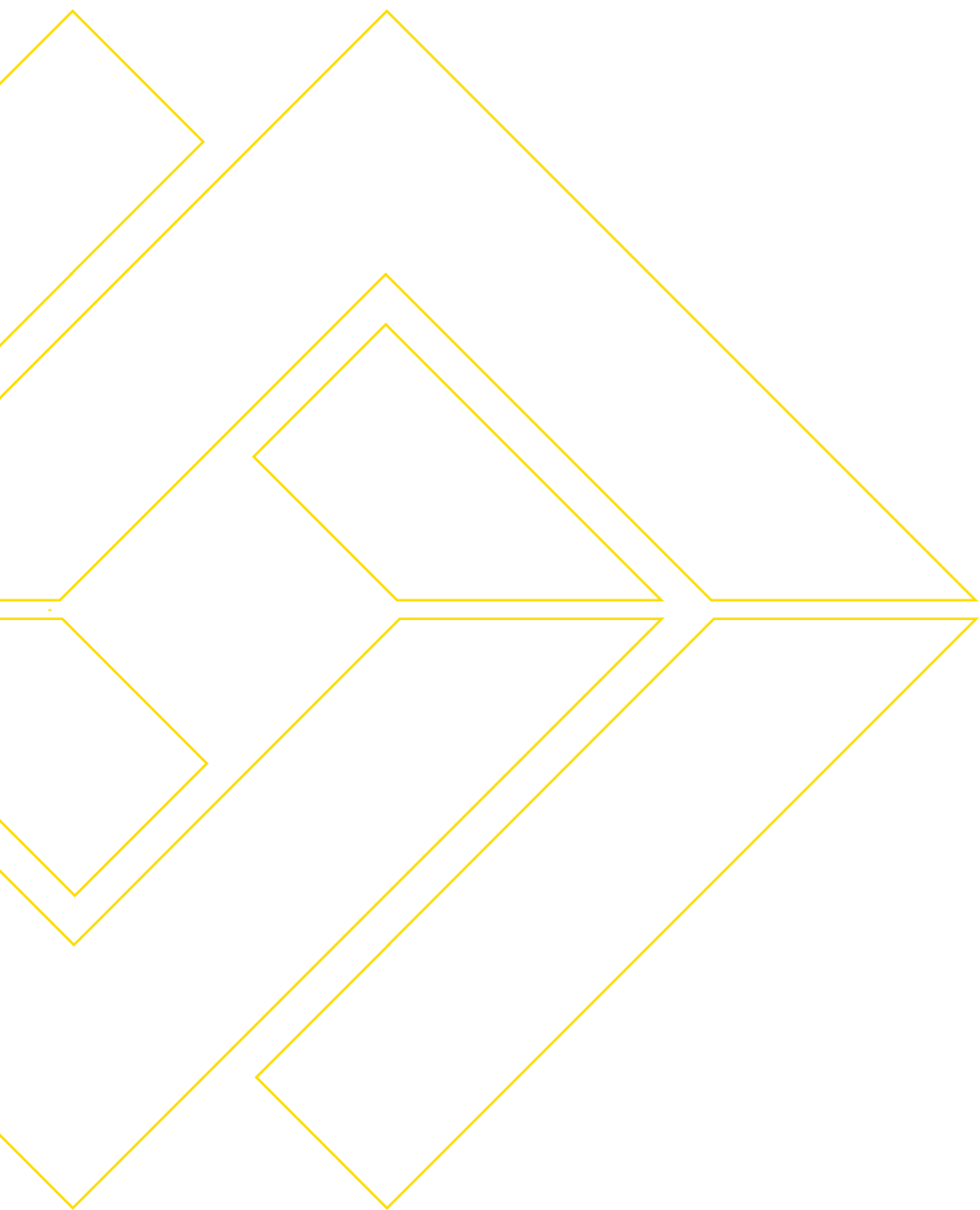
**DESIGN INTENT**

To maximise the use of low toxicity products and to eliminate harmful chemicals from your home.

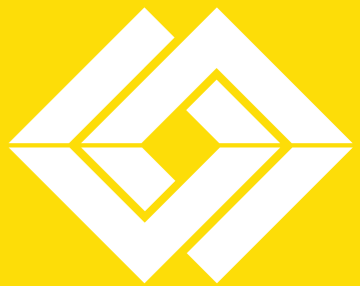
**RECOMMENDATIONS**

To eliminate using harmful chemicals in the construction of your home, you may consider some/all of the following options:

- Low emission paints for both internal and external painted surfaces;
- The use of low emission sealants on internal and external surfaces;
- The use of low emission adhesives on internal and external surfaces; and
- The use of low emission floor coverings on indoor covered floors.



# 3 | DESIGN ELEMENTS SITE PLANNING



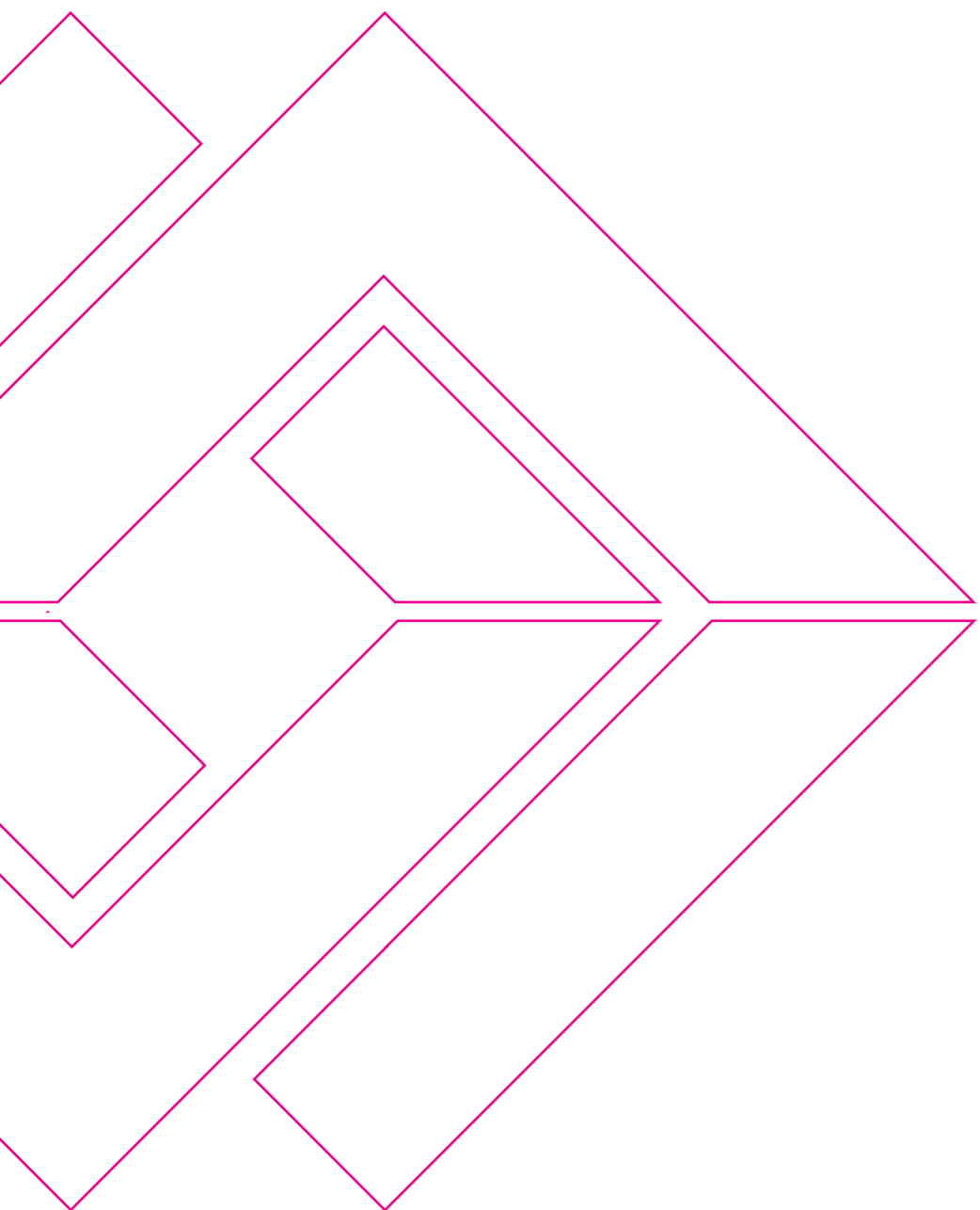
## 3.0 Site Planning

Refer to your lot's designated R-Code on the R-Code Plan available on the Yanchep Junction Website.

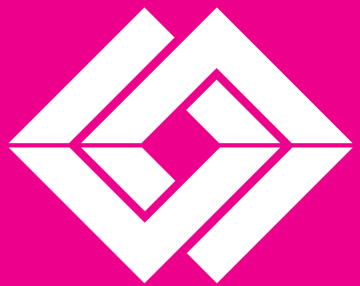
The built form requirements for each R-Code are prescribed by WAPC here - <https://www.wa.gov.au/government/document-collections/residential-design-codes>

Compliance with these R-Codes is considered Deemed To Comply and enables your building permit to be immediately assessed by the Council, avoiding planning approval.





# 4 | DESIGN ELEMENTS HOME DESIGN



# 4.0 Home Design

## 4.1 Facade

### DESIGN INTENT

Maintaining a consistent streetscape is important to ensure the character of the neighbourhood is protected. A contemporary architectural approach to the design of your home will achieve this consistency.

DESIGN STANDARDS	
4.1.1	<p>Front façade must contain one of the following</p> <ul style="list-style-type: none"> <li>• a Gable</li> <li>• a Gablet</li> <li>• at least one arch to the brickwork of the front façade with projecting masonry corbels</li> <li>• an arch with projecting masonry corbels</li> <li>• a portico that projects forward from the main roof of the front of the residence</li> <li>• projecting sill courses and/or contrasting sills</li> <li>• a verandah with a minimum depth of 1500 millimetres which comprises a minimum of 50 percentum of the front elevation of the residence</li> <li>• a feature blade wall</li> <li>• a cement render finish to the walls of the front elevation of the residence.</li> </ul>
4.1.2	To avoid repetition within the streetscape, homes with identical facades are not to be built within three lots of each other (applicable for both sides of the street). WDRC will assess each submission against any existing or recently approved homes.
4.1.3	Homes must be designed to address the street and provide windows to habitable rooms that overlook the street.
4.1.4	Your home must be contemporary in style and must not include external period decorative elements or features.
4.1.5	Meter boxes must not be located on front facade.
4.1.6	External windows and doors must not contain leadlight or stained glass features.
4.1.7	Security doors are permitted but must be a plain mesh screen. Decorative security doors will not be approved.
4.1.8	Roller shutters will not be permitted to windows.
4.1.9	The materials, colours and finish of your facade, door and window frames must adhere with all requirements of section 4.3 of this Design Handbook.

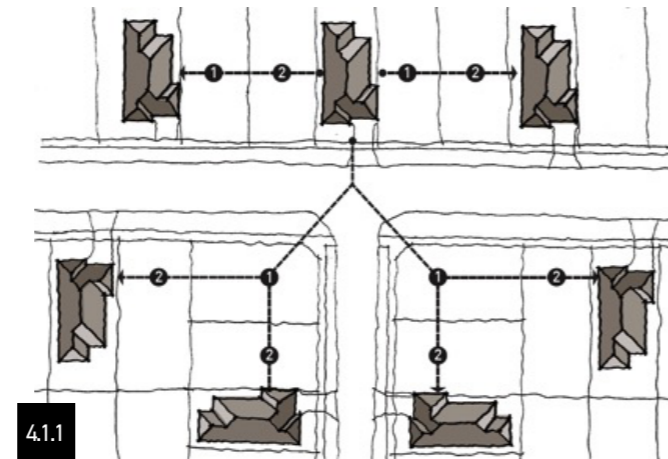
### NOTE:

In the event of two applications requesting the same design, approval will be granted to the first application received at Developer discretion.

Period reproduction styles and mixture of styles for example Victorian, Colonial, Federation or Edwardian etc are not considered to be contemporary Australian architectural character and therefore are not permitted.

### RECOMMENDATIONS

- Take time to consider the design of your facade to ensure it positively contributes to the streetscape.



4.1.3 Porter Davis

## 4.2 Roof Form

### DESIGN INTENT

Roofs are a major element to your house design and they have a critical role in providing visual amenity to a street.

DESIGN STANDARDS	
4.2.1	Homes must provide a varied roof form that is simple in style and integrated with the overall building design.
4.2.2	The roof form of the garage must be complementary to the house roof.
4.2.3	The main portion of roof must have a minimum of 24 degrees and 43 minutes roof pitch but verandah areas are exempt. Skillion roofs must have a minimum of a 5 degree pitch and a maximum of 10 degree pitch. Flat roof pitches of less than 5 degrees will be allowed if all edges of the roof are hidden by a horizontal parapet.
4.2.4	A minimum 300mm eaves are required. Eaves to a single story dwelling should return and continue a minimum distance of three meters along the connecting return wall and or walls from the frontage. Eaves are not required to a wall on the boundary. Eaves to a double story dwelling must continue around the entire perimeter of the second level.

### RECOMMENDATIONS

- By consuming and constructing an energy efficient home you can dramatically reduce the amount of energy consumed.



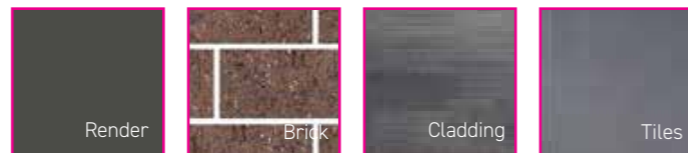
4.2.1 Carlisle Homes & Boutique Homes 4.2.3 Carlisle Homes

### 4.3 External Materials, Finishes & Colour Palettes

DESIGN INTENT

Ensure that homes within the neighbourhood achieve a consistency in the materials and colours used to create a complementary interface to the streetscape.

DESIGN STANDARDS	
4.3.1	Front façade must be either 50% render with the addition of weatherboard cladding and one other building material or 100% render in two tones.
4.3.2	<p>Wall materials must be comprised of predominantly:</p> <ul style="list-style-type: none"> <li>• painted or rendered concrete</li> <li>• rendered masonry</li> <li>• face bricks</li> <li>• limestone</li> <li>• natural coloured concrete blockwork</li> <li>• split face block feature walls</li> <li>• timber or weatherboard which has a stained or painted finish</li> </ul> <p>• fibre cement cladding</p> <p>• metal deck cladding custom orb and/or mini orb</p> <p>• reverse brick veneer or composite materials (including a mixture of fibre cement products)</p> <p>• other similar material finished in facework or render provided that each of those materials used comprises more than 10% of the total front elevation wall area (excluding windows) of the residence.</p>
4.3.3	The materials and colours that have been used on the primary façade of your home, must extend to the side elevation for a minimum of 1.5m.
4.3.4	Gutters, fascias and downpipes must be consistent with, or complementary to, the colour scheme of the dwelling.
4.3.5	Only colourbond metal roofing is permitted in the following colours; Dover White, Surfmist, Shale Grey or Windspray
4.3.6	Doors, window frames and any other cladding materials must also be consistent with, or complementary to, the colour scheme of the dwelling.



NOTE:

As part of the design approval process all exterior colours must be submitted with the application. The decision to approve or not approve a colour schedule is solely the decision of the Wolfdene Design Review Committee.

All external colours to your home must be of a contemporary colour and style. Feature render colours used as an accent only may vary from the colour palette. Approval will be granted at the discretion of the Wolfdene Design Review Committee.

RECOMMENDATIONS

- Materials and products for your home should be sourced locally;
- The change of materials should be located where downpipes or other accepted treatments cover the joint;
- Homeowners and builders are encouraged to incorporate recycled or reused materials into the construction of your home; and
- Low emission materials should be used during the construction of your home.

### 4.4 Entry

DESIGN INTENT

Entry features enhance the facade of your home and define the entrance from the street.

DESIGN STANDARDS	
4.4.1	Dwellings must provide an entry clearly legible from the street.
4.4.2	Entry features such as porches and verandahs must be incorporated in the design of your home.
4.4.3	Where used, portico structures must appear as an extension of the dwelling.

RECOMMENDATIONS

- Use designs that are contemporary in nature that complement the style of your home; and
- The entry feature should be scaled in proportion to the rest of the dwelling.



## 4.5 Garage

### DESIGN INTENT

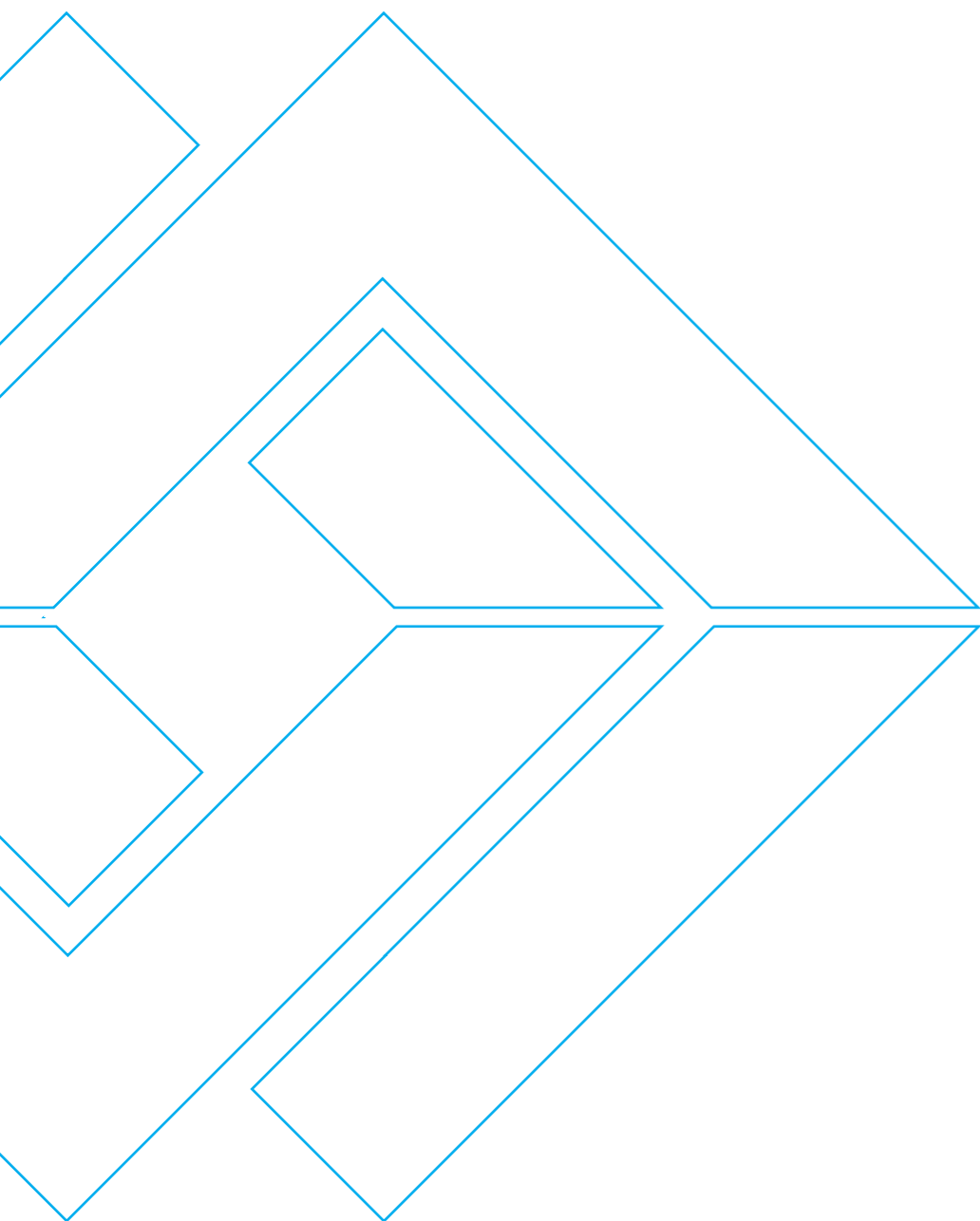
Garages are important features for both the home and street as they provide security and storage areas for the homeowner whilst reducing the amount of vehicles visible from the streetscape.

DESIGN STANDARDS	
4.5.1	Lock up vehicle accommodation in the form of an enclosed garage must be provided. Carports are not permitted
4.5.2	Garages must be setback a minimum of 1m behind the dwelling.
4.5.3	All dwellings constructed must incorporate a minimum double garage with parking side by side, comprise the same materials, colour and style as the residence. The garage can be part of the main residence or a separate outbuilding. If a separate outbuilding the roof pitch is to be the same as the main dwelling and must be completed in conjunction with the main residence with driveway and crossover fully constructed to the garage door.
4.5.4	Garage doors must be panel lift, sectional or a similar contemporary style. Roller doors will not be permitted.

### RECOMMENDATIONS

- Additional storage space should be provided within the garage to minimise the need for additional outbuildings.





# 5 | DESIGN ELEMENTS CORNER LOTS



# 5.0 Corner Lots

## 5.1 Corner Lot Treatment

### DESIGN INTENT

It is important that corner lots address their prominent position in the streetscape while contributing to the creation of an attractive and safe living environment. It is essential that the home addresses both street frontages.

### DESIGN STANDARDS

5.1.1	The secondary facade must replicate the materials, window treatments, embellishments and colour scheme of the primary facade.
5.1.2	The secondary facade must include as a minimum one visible habitable room window, replicated materials and articulation.
5.1.3	Minimum 300mm eaves to the dwelling must continue for the entire length of the secondary street frontage, returning a minimum 1m along the rear.
5.1.4	The facade and entrance to the home must face the primary street frontage.
5.1.5	External services should not be visible from either street frontage.

### NOTE:

It will be at the discretion of the Wolfdene Design Review Committee to determine acceptable corner treatment for each corner lot submission.

A habitable room window must be full height in size and provide a clear view to the secondary street frontage.

For corner lots, the above mentioned externally mounted units (not including solar panels) must not be mounted on the secondary street frontage side.

Please refer to section 6.4 External Structures and Services for further details regarding external services.

### RECOMMENDATIONS

- Consider two storey buildings on corner lots to provide scale to anchor the street corner.



## 5.2 Corner Fencing

### DESIGN INTENT

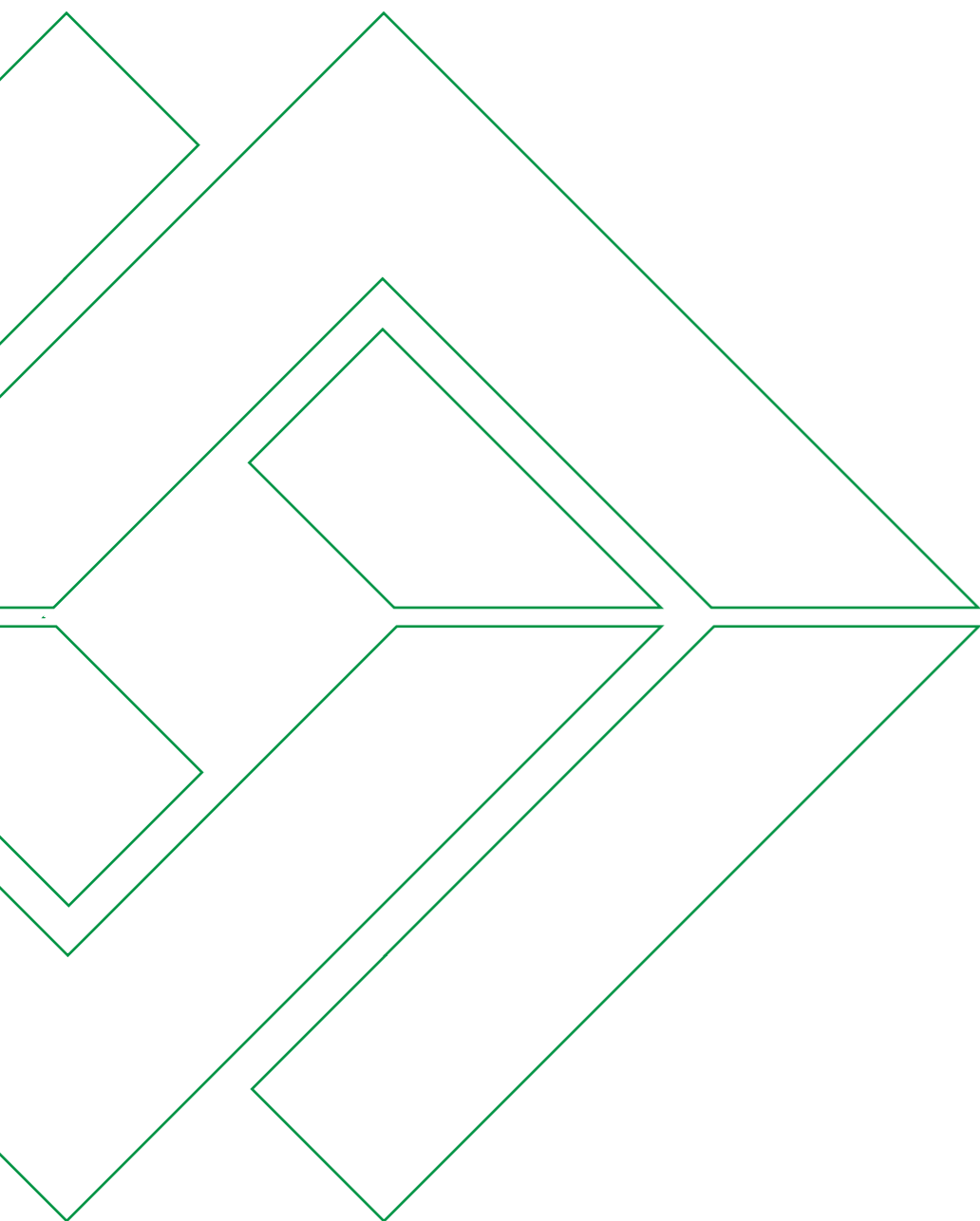
Corner lot fencing should be constructed to complement the secondary street frontage and display the corner treatment.

### CORNER LOT FENCE

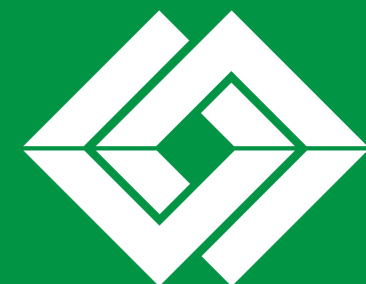
5.2.1	Fencing to the secondary street boundary must be setback a minimum of 2m behind the front building line of your home.
5.2.2	The design of side fencing on a corner lot requires the approval of Wolfdene Design Review Committee.

### RECOMMENDATIONS

- Semi-transparent fencing is encouraged along the secondary street boundary for corner lots.



# 6 | DESIGN ELEMENTS LANDSCAPE



# 6.0 Landscape

## 6.1 Driveway

### DESIGN INTENT

The appearance of your driveway should complement your home and integrate with the house design. Driveways should not dominate the streetscape.

DESIGN STANDARDS	
6.1.1	Driveways must not dominate the streetscape.
6.1.2	Driveways must be setback at least 600mm from the nearest side boundary to allow for landscaping. Maximum width of driveway shall be 6m with a minimum width of 5m.
6.1.3	Driveways must be constructed of brick paving, exposed aggregate and muted in tone/colour. Any variation in materials must be approved by Wolfdene Design Review Committee. Plain concrete will not be permitted.
6.1.4	Driveways and pathways to the entrance of your home must be constructed prior to obtaining the Certificate of Occupancy.

### RECOMMENDATIONS

- Explore the use of permeable materials, such as porous paving, to introduce an additional texture to your front landscape, whilst reducing stormwater runoff; and
- Consider front landscaping irrigation requirements prior to the construction of your driveway.



## 6.2 Letterbox

### DESIGN INTENT

Ensure the form and style of the letterbox complements the design of the dwelling.

DESIGN STANDARDS	
6.2.1	Letterboxes must complement your home in colour, design and material.
6.2.2	Single post/ornamental or temporary letterboxes are not permitted.
6.2.3	Letterboxes must be constructed on the front boundary adjacent to either the driveway or path with the house number clearly displayed.
6.2.4	Letterboxes must be installed prior to a Certificate of Occupancy being obtained.





## 6.3 Fencing

### DESIGN INTENT

Fencing can play a key role in the overall appearance of your home from the street. It should be a secondary element to the home.

DESIGN STANDARDS	
FRONT FENCE	
6.3.1	No front fencing is permitted on conventional lots.
SIDE & REAR FENCE	
6.3.2	Must be 1.8m in height, capped and painted on both sides in Woodland Grey coloured paint and constructed of materials known as colourbond. Side fences must be setback a minimum of 0.5m behind the primary building facade.
6.3.3	No side fence will be permitted in front of the primary building facade.
RETURN FENCE	
6.3.4	Return fencing must be 1.8m in height, capped and painted on both sides in Woodland Grey coloured paint and constructed of materials known as colourbond.
PERIMETER FENCE	
6.3.5	All perimeter fencing must be completed within 30 days of receiving your Certificate of Occupancy.

### NOTE:

Applicable to all fencing, any variation in materials must be approved by Wolfdene Design Review Committee.

Front fencing may be permitted for integrated housing sites.

### RECOMMENDATIONS

- Landscaping or hedges can be planted to clearly define your front yard.

## 6.4 External Structures & Services

### DESIGN INTENT

The location of services should be incorporated into the design of your home to ensure that they are screened from public view, avoiding a negative visual impact on the street.

DESIGN STANDARDS	
ADDITIONAL BUILDINGS	
6.4.1	Sheds, if necessary, will be permitted where they are screened from public view. A maximum floor area of 20m <sup>2</sup> is permitted, unless sufficient justification can be made to Wolfdene Design Review Committee, in which case sheds will be assessed on their merits.
6.4.2	Shed height must not exceed 2.4m at the perimeter, and 3.0m at the ridge-line of the roof.
6.4.3	Outbuildings greater than 20 square metres must be constructed in the same materials to match the main building. Sheds and other outbuildings with a floor area of less than 20 square metres may be approved if constructed in materials other than zincalume and other reflective finishes which are prohibited.
6.4.4	Sheds must be constructed of an appropriate, non-reflective material. Materials used should be consistent with those of dwelling.
6.4.5	Any proposed pergolas, decks, pools or other extensions must be submitted to Wolfdene Design Review Committee for approval.
6.4.6	Carports may be permitted if located out of public view.
SERVICES	

Please refer to the Restrictive Covenants for other restrictions for your property.

DESIGN STANDARDS	
6.4.7	Air conditioner or evaporative cooler must be: (i) contained wholly within the residence; or (ii) installed generally below the ridge line of the roof and of similar colour to the roof; or (iii) contained within the roof space between the ceilings of the residence and the underside of the roof of the residence.
6.4.8	Evaporative cooling units must be colour matched to the roof, must not be visible from the street and the highest point of the unit must not exceed the peak ridge of the roof of the dwelling.
6.4.9	Satellite dishes and antennas must be positioned so they are not visible from the street.
6.4.10	Solar panels should be located out of public view. In the case that the most efficient position is within public view, solar panels will be assessed by Wolfdene Design Review Committee in regards to form and scale.
6.4.11	Provisions must be made for the storage of rubbish and recycling bins in areas that are accessible but not within public view.
6.4.12	Clotheslines must be located out of public view.
6.4.13	Rainwater tanks, hot water units, ducted heating units and similar services must also be screened or out of public view.
6.4.14	This neighbourhood is to be optic fibre ready. Your home will need to be fitted with the correct telecommunication and internet services.
6.4.15	Gas storage or gas instantaneous hot water system must be installed.
6.4.16	Rubbish disposal containers and washing lines must be screened from public view.

## 6.5 Site Management & Maintenance

### DESIGN INTENT

To ensure all allotments within the development are maintained in line with the intended quality of built form and the overall vision for the community.

DESIGN STANDARDS	
HEAVY VEHICLES	
6.5.1	Trucks or commercial vehicles (greater than 1 tonne) shall be out of public view when parked or stored. Recreational vehicles (e.g boats and caravans) are permitted to be parked or stored within public view so long as they are located on a side boundary, on a hard surface perpendicular to the primary street.
MAINTENANCE	
6.5.2	The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot unless the rubbish is neatly stored in a suitably sized industrial bin or skip.
6.5.3	The purchaser must not allow excessive growth of grass or weeds upon the lots.
6.5.4	Bins must be removed from the street on the same day as the scheduled collection day.
6.5.5	Internal window furnishings which can be viewed from the street must be installed within three months of receiving your Certificate of Occupancy.
SIGNS & ADVERTISING	
6.5.6	No advertising signs including 'For Sale' or 'For Lease' signs may be erected by the Purchaser at any time on a vacant lot.
6.5.7	Builder's signs may be permitted (600mm <sup>2</sup> maximum) during construction only and must be removed on completion of building works or may remain with the Developer's written permission.

### NOTE:

If the Purchaser does not comply within 14 days of receiving a written notice then the Purchaser shall be liable to reimburse the Developer of all costs, including administration costs incurred in the removal of such materials.

The preceding signage and advertising restrictions do not apply to the developer who may erect signage as appropriate.

## 6.6 Front Landscaping

### DESIGN INTENT

A key feature of your neighbourhood will be the quality of landscaped parks, gardens and streetscapes. Appropriate front garden design and plant selection contribute to the overall neighbourhood character.

As a landowner at Yanchep Junction you are provided with a fencing and landscaping package, provided you comply with the terms of your Contract of Sale and the following mandatory requirements:

- Submission of a copy of the plans for a dwelling prior to commencement of construction for approval.
- Completing the construction of a dwelling in accordance with the Restrictive Covenants and Design Handbook within twenty four (24) months from settlement.

### RECOMMENDATIONS

- Choose a garden which will most suit your lifestyle. Consider the level of care and maintenance you would like to contribute to the garden and how you will use this space;
- Consider paths and access requirements in the design of your front landscape;
- Front landscaping is encouraged to be environmentally sensitive by utilising appropriate drought tolerant plants, organic mineral mulches and drip irrigation systems; and
- Fruit bearing trees are encouraged in your landscape.

### LANDSCAPING PACKAGE

The Landscaping Package generally includes the supply and installation of landscaping and irrigation forward of the primary street frontage façade of the dwelling (including within the road verge), and within the road verge only in respect of the secondary street frontage for corner lots;

- approximately 60% roll on turf (Wintergreen couch);
- approximately 40% planted and mulched garden beds including a variety of water wise shrubs at approximately 2 shrubs per square metre;
- one 45 litre street tree to be installed in the verge where space permits or within the front setback of the Lot if the verge is too narrow (as determined at the sole discretion of the Seller);
- one automatic irrigation controller to be wired into the dwelling meter box by a licensed electrician, rear loaded lots to receive battery operated controller;

- irrigation lines and popup sprinklers for lawn areas, for which the Buyer is required to install one 90mm PVC irrigation conduit under the driveway and any other hard surfaces;
- irrigation lines and one dripper per shrub for garden beds; and
- one irrigation isolation valve installed by a licenced plumber and connected to the domestic water supply of the dwelling (not for rear loaded).

### LANDSCAPING PACKAGE CONDITIONS

(Refer to Contract for Sale for full details)

In order for the Buyer to be entitled to claim the Landscaping Package, each and all of the conditions within the Contract for Sale must be met, including but not limited to:

- the Buyer must submit plans and specifications for the construction of a dwelling on the Lot to the Seller in accordance with this Design Handbook within 12 months of the date of Settlement;
- the Buyer must have received a written notice of non-objection from the Seller in respect of the plans and specifications (which is not to be unreasonably withheld), in which case, the Seller will provide a voucher to the Buyer for the redemption of the Landscaping Package;
- the Buyer must complete the landscaping no later than 24 months after the date of Settlement;
- the Buyer must provide access to the Lot for the Landscaping Package works to be commenced;
- the Buyer as set out in this Contract must be the registered proprietor of the Lot on the date that the Landscaping Package is installed;
- the Buyer must have completed the construction of a dwelling plus the driveway and the crossover (and other improvements on the Lot, if applicable), in accordance with the Covenants, within 24 months of the date of Settlement; and
- the Buyer must ensure that the relevant parts of the Lot are free of debris prior to the installation of irrigation and landscaping, with levels to be left 30mm below hard surfaces.

# 7.0 Design Assessment Submission

The Wolfdene Design Review Committee (WDRC) may request the applicant to provide fully compliant and authority approved overshadowing and overlooking diagrams for double storey dwellings as part of their submission requirements.

Applications to the WDRC will only be reviewed if all the requirements have been submitted. Approval will not be granted on part application. If any design changes are made after the WDRC approval, all documentation must be resubmitted for approval. Only a fully scaled set of application documents will be considered upon final submission to WDRC.

The decision to approve or not approve an application is solely the decision of the WRDC.

The WDRC will endeavor to assess proposals within 14 days of receipt of a fully compliant application.

In order to make the approval process as efficient as possible for applicants, WDRC only accepts submissions via email.

Please complete and submit the Design Assessment Checklist Application Form (see following page) and relevant documents to:

plans@designapprovals.com.au

Documents must be submitted in .pdf format, with the maximum size limit per email being 10MB. You must name the subject of your email appropriately, including the lot number and street name.

## DESIGN ASSESSMENT APPLICATION FORM

PROPERTY DETAILS	
Lot Number:	Address:
Builder:	
Home Design Name:	
Facade Name:	
OWNER'S DETAILS	
Name(s):	
Address:	
Mobile:	Email:
BUILDER'S DETAILS	
Name(s):	
Business:	
Mobile:	Email:
ATTACHMENTS	
<input type="checkbox"/> SITE PLAN(S) (MIN. SCALE 1:200)	Must indicate all boundary setback dimensions, building envelopes, total site coverage and floor areas, north point, vehicle crossover, driveway, fencing details, any proposed outbuildings and/or retaining walls.
<input type="checkbox"/> FLOORPLAN (MIN. SCALE 1:100)	Must indicate key dimensions, window positions and roof plan.
<input type="checkbox"/> ELEVATIONS (MIN. SCALE 1:100)	Must include all 4 elevations and indicate building heights, finished floor to ceiling levels, roof pitch, eaves depth, external finishes, location of external services, existing ground levels and any excavation, fill and proposed finished ground levels. (Alternatively, some of the above information can be indicated on a cross section at a minimum scale of 1:100). Note: Plans and elevations must also be submitted for any proposed decking, pergolas, patios, carports, sheds, swimming pools, BBQ areas or similar.
<input type="checkbox"/> SCHEDULE OF MATERIALS & FINISHES	Must indicate the all proposed materials and finishes for the dwelling, letterbox and driveway and include brands, colour names and colour swatches.
<input type="checkbox"/> DESIGN ASSESSMENT CHECKLIST	
SIGNATURE OF APPLICANT	
I/we believe that the submission documents comply with the Yanchep Junction Design Handbook and Restrictive Covenants, as well as relevant Outline Development Plan - R-Code Variations and Built Form Requirements, and governing authority/Council requirements.	
Signature:	Date:

## DESIGN ASSESSMENT CHECKLIST

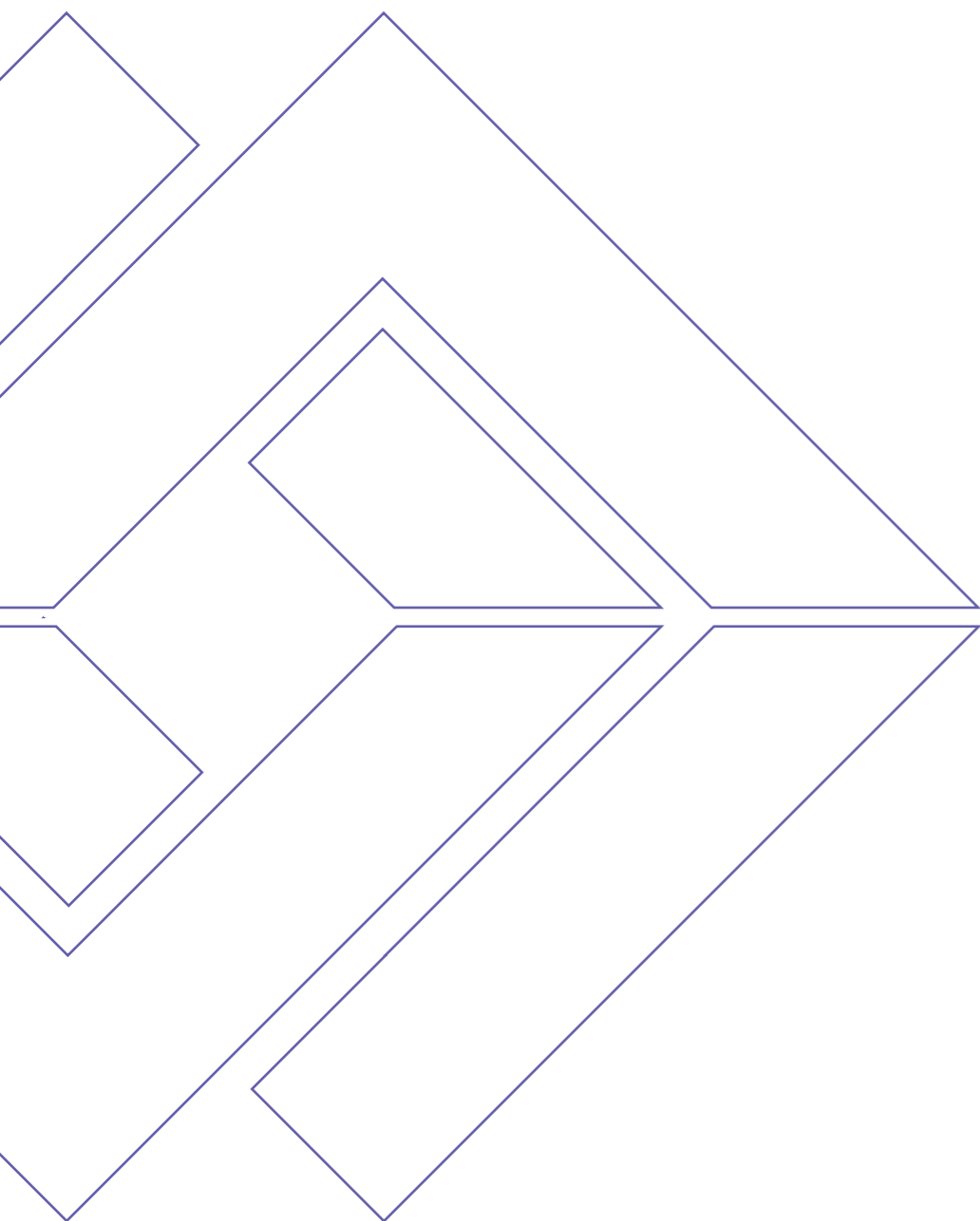
(Please tick the box to show that you acknowledge the standard and that the design achieves the standard where applicable).

REF.	DESIGN STANDARD	ACKNOWLEDGE STANDARD	ACHIEVES STANDARD
<b>DESIGN ELEMENT - ENERGY + SUSTAINABILITY</b>			
<b>2.1 SITE ORIENTATION + VENTILATION</b>			
2.1.1	Orientate your home to capture prevailing breezes and utilise potential cross ventilation and passive cooling in the summer months.	<input type="checkbox"/>	<input type="checkbox"/>
2.1.2	Orientate your home to provide best solar access. Ensure your home and associated outdoor spaces are positioned on the lot in a manner that will enhance solar amenity of the primary living areas, both internal and external.	<input type="checkbox"/>	<input type="checkbox"/>
<b>2.2 ENERGY + MATERIAL EFFICIENCY</b>			
2.2.1	Your home must achieve a minimum 6 star energy efficiency rating as legislated by the Building Code of Australia.	<input type="checkbox"/>	<input type="checkbox"/>
2.2.2	Thorough use of draught seals should be used throughout your home in order to draught-proof and reduce energy consumption.	<input type="checkbox"/>	<input type="checkbox"/>
<b>2.3 HEALTHY HOMES</b>			
<b>DESIGN ELEMENT - SITE PLANNING</b>			
<b>3.0 SITE PLANNING</b>			
3.0	Refer tables 2, 3a and 3b within the Outline Development Plan	<input type="checkbox"/>	<input type="checkbox"/>
<b>DESIGN ELEMENT - HOME DESIGN</b>			
<b>4.1 FACADE</b>			
4.1.1	Front façade must contain one of the following <ul style="list-style-type: none"> <li>a Gable</li> <li>a Gablet</li> <li>at least one arch to the brickwork of the front façade with projecting masonry corbels</li> <li>an arch with projecting masonry corbels</li> <li>a portico that projects forward from the main roof of the front of the residence</li> <li>projecting sill courses and/or contrasting sills</li> <li>a verandah with a minimum depth of 1500 millimetres which comprises a minimum of 50 percentum of the front elevation of the residence</li> <li>a feature blade wall</li> <li>a cement render finish to the walls of the front elevation of the residence.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>
4.1.2	To avoid repetition within the streetscape, homes with identical facades are not to be built within three lots of each other (applicable for both sides of the street). WDRC will assess each submission against any existing or recently approved homes.	<input type="checkbox"/>	<input type="checkbox"/>
4.1.3	Homes must be designed to address the street and provide windows to habitable rooms that overlook the street.	<input type="checkbox"/>	<input type="checkbox"/>
4.1.4	Your home must be contemporary in style and must not include external period decorative elements or features.	<input type="checkbox"/>	<input type="checkbox"/>
4.1.5	Meter boxes must not be located on front facade.	<input type="checkbox"/>	<input type="checkbox"/>
4.1.6	External windows and doors must not contain leadlight or stained glass features.	<input type="checkbox"/>	<input type="checkbox"/>
4.1.7	Security doors are permitted but must be a plain mesh screen. Decorative security doors will not be approved.	<input type="checkbox"/>	N/A
4.1.8	Roller shutters will not be permitted to windows.	<input type="checkbox"/>	<input type="checkbox"/>
4.1.9	The materials, colours and finish of your facade, door and window frames must adhere with all requirements of section 4.3 of this Design Handbook.	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.2 ROOF FORM</b>			
4.2.1	Homes must provide a varied roof form that is simple in style and integrated with the overall building design.	<input type="checkbox"/>	<input type="checkbox"/>
4.2.2	The roof form of the garage must be complementary to the house roof.	<input type="checkbox"/>	<input type="checkbox"/>

REF.	DESIGN STANDARD	ACKNOWLEDGE STANDARD	ACHIEVES STANDARD
4.2.3	The main portion of roof must have a minimum of 24 degrees and 43 minutes roof pitch but verandah areas are exempt. Skillion roofs must have a minimum of a 5 degree pitch and a maximum of 10 degree pitch. Flat roof pitches of less than 5 degrees will be allowed if all edges of the roof are hidden by a horizontal parapet.	<input type="checkbox"/>	<input type="checkbox"/>
4.2.4	A minimum 300mm eaves are required. Eaves to a single storey dwelling should return and continue a minimum distance of three meters along the connecting return wall and or walls from the frontage. Eaves are not required to a wall on the boundary. Eaves to a double storey dwelling must continue around the entire perimeter of the second level.	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.3 EXTERNAL MATERIALS, FINISHES &amp; COLOUR PALETTES</b>			
4.3.1	Front façade to be comprised of a minimum of two different wall materials or two different wall colours.	<input type="checkbox"/>	<input type="checkbox"/>
4.3.2	Wall materials must be comprised of predominantly: <ul style="list-style-type: none"> <li>• painted or rendered concrete</li> <li>• rendered masonry</li> <li>• clay bricks</li> <li>• limestone</li> <li>• natural coloured concrete blockwork</li> <li>• split face block feature walls</li> <li>• timber or weatherboard which has a stained or painted finish</li> <li>• fibre cement cladding</li> <li>• metal deck cladding custom orb and/or mini orb</li> <li>• reverse brick veneer or composite materials (including a mixture of fibre cement products)</li> <li>• other similar material finished in facework or render provided that each of those materials used comprises more than 10% of the total front elevation wall area (excluding windows) of the residence.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>
4.3.3	The materials and colours that have been used on the primary facade of your home, must extend to the side elevation for a minimum of 1.5m.	<input type="checkbox"/>	<input type="checkbox"/>
4.3.4	Gutters, fascias and downpipes must be consistent with or complementary to the colour scheme of the dwelling.	<input type="checkbox"/>	<input type="checkbox"/>
4.3.5	Clay or concrete tiles or colourbond metal roofing or metal roofing with a non-reflective surface is acceptable. Zinalume metal and other reflective materials, red and orange colours must not be used.	<input type="checkbox"/>	<input type="checkbox"/>
4.3.6	Doors, window frames and any other cladding materials must also be consistent with or complementary to the colour scheme of the dwelling.	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.4 ENTRY</b>			
4.4.1	Dwellings must provide an entry clearly legible from the street.	<input type="checkbox"/>	<input type="checkbox"/>
4.4.2	Entry features such as porches and verandahs must be incorporated in the design of your home.	<input type="checkbox"/>	<input type="checkbox"/>
4.4.3	Where used, portico structures must appear as an extension of the dwelling.	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.5 GARAGE</b>			
4.5.1	Lock up vehicle accommodation in the form of an enclosed garage must be provided.	<input type="checkbox"/>	<input type="checkbox"/>
4.5.2	Garages must be setback a minimum of 1m behind the dwelling.	<input type="checkbox"/>	<input type="checkbox"/>
4.5.3	All dwellings constructed must incorporate a minimum double garage with parking side by side, comprise the same materials, colour and style as the residence. The garage can be part of the main residence or a separate outbuilding. If a separate outbuilding the roof pitch is to be the same as the main dwelling and must be completed in conjunction with the main residence with driveway and crossover fully constructed to the garage door.	<input type="checkbox"/>	<input type="checkbox"/>
4.5.4	Garage doors must be panel lift, sectional or a similar contemporary style. Roller doors will not be permitted.	<input type="checkbox"/>	<input type="checkbox"/>

REF.	DESIGN STANDARD	ACKNOWLEDGE STANDARD	ACHIEVES STANDARD
<b>DESIGN ELEMENT - CORNER LOTS</b>			
<b>5.1 CORNER LOTS</b>			
5.1.1	The secondary facade must replicate the materials, window treatments, embellishments and colour scheme of the primary facade.	<input type="checkbox"/>	<input type="checkbox"/>
5.1.2	The secondary facade must include as a minimum one visible habitable room window, replicated materials and articulation.	<input type="checkbox"/>	<input type="checkbox"/>
5.1.3	Minimum 300mm eaves to the dwelling must continue for the entire length of the secondary street frontage, returning a minimum 1m along the rear.	<input type="checkbox"/>	<input type="checkbox"/>
5.1.4	The facade and entrance to the home must face the primary street frontage.	<input type="checkbox"/>	<input type="checkbox"/>
5.1.5	External services should not be visible from either street frontage.	<input type="checkbox"/>	<input type="checkbox"/>
<b>5.2 CORNER FENCING</b>			
5.2.1	Fencing to the secondary street boundary must be setback a minimum of 2m behind the front building line of your home.	<input type="checkbox"/>	<input type="checkbox"/>
5.2.2	The design of side fencing on a corner lot requires the approval of Wolfdene Design Review Committee.	<input type="checkbox"/>	<input type="checkbox"/>
<b>DESIGN ELEMENT - LANDSCAPE</b>			
<b>6.1 DRIVEWAY</b>			
6.1.1	Driveways must not dominate the streetscape.	<input type="checkbox"/>	<input type="checkbox"/>
6.1.2	Driveways must be setback at least 600mm from the nearest side boundary to allow for landscaping. Maximum width of driveway shall be 6m with a minimum width of 5m.	<input type="checkbox"/>	<input type="checkbox"/>
6.1.3	Driveways must be constructed of brick paving, exposed aggregate and muted in tone/colour. Any variation in materials must be approved by Wolfdene Design Review Committee. Plain concrete will not be permitted.	<input type="checkbox"/>	<input type="checkbox"/>
6.1.4	Driveways and pathways to the entrance of your home must be constructed prior to obtaining the Certificate of Occupancy.	<input type="checkbox"/>	N/A
<b>6.2 LETTERBOX</b>			
6.2.1	Letterboxes must complement your home in colour, design and material.	<input type="checkbox"/>	<input type="checkbox"/>
6.2.2	Single post/ornamental or temporary letterboxes are not permitted.	<input type="checkbox"/>	<input type="checkbox"/>
6.2.3	Letterboxes must be constructed on the front boundary adjacent to either the driveway or path with the house number clearly displayed.	<input type="checkbox"/>	<input type="checkbox"/>
6.2.4	Letterboxes must be installed prior to a Certificate of Occupancy being obtained.	<input type="checkbox"/>	N/A
<b>6.3 FENCING</b>			
<b>FRONT FENCE</b>			
6.3.1	No front fencing is permitted on conventional lots.	<input type="checkbox"/>	<input type="checkbox"/>
<b>SIDE &amp; REAR FENCE</b>			
6.3.2	Must be 1.8m in height, capped and painted on both sides in Woodland Grey coloured paint and constructed of materials known as colourbond. Side fences must be setback a minimum of 0.5m behind the primary building facade.	<input type="checkbox"/>	<input type="checkbox"/>
6.3.3	No side fence will be permitted in front of the primary building facade.	<input type="checkbox"/>	<input type="checkbox"/>
<b>RETURN FENCE</b>			
6.3.4	Return fencing must be 1.8m in height, capped and painted on both sides in Woodland Grey coloured paint and constructed of materials known as colourbond.	<input type="checkbox"/>	<input type="checkbox"/>
<b>PERIMETER FENCE</b>			
6.3.5	All perimeter fencing must be completed within 30 days of receiving your Certificate of Occupancy.	<input type="checkbox"/>	N/A
<b>6.4 EXTERNAL STRUCTURE &amp; SERVICES</b>			
<b>ADDITIONAL BUILDINGS</b>			
6.4.1	Sheds, if necessary, will be permitted where they are screened from public view. A maximum floor area of 20m <sup>2</sup> is permitted, unless sufficient justification can be made to Wolfdene Design Review Committee, in which case sheds will be assessed on their merits.	<input type="checkbox"/>	<input type="checkbox"/>

REF.	DESIGN STANDARD	ACKNOWLEDGE STANDARD	ACHIEVES STANDARD
6.4.2	Shed height must not exceed 2.4m at the perimeter, and 3.0m at the ridge-line of the roof.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.3	Outbuildings greater than 20 square metres must be constructed in the same materials to match the main building. Sheds and other outbuildings with a floor area of less than 20 square metres may be approved if constructed in materials other than zincalume and other reflective finishes which are prohibited.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.4	Sheds must be constructed of an appropriate, non-reflective material. Materials used should be consistent with those of dwelling.	<input type="checkbox"/>	N/A
6.4.5	Any proposed pergolas, decks, pools or other extensions must be submitted to Wolfdene Design Review Committee for approval.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.6	Carports may be permitted if located out of public view.	<input type="checkbox"/>	<input type="checkbox"/>
<b>SERVICES</b>			
6.4.7	Air conditioner or evaporative cooler must be: (i) contained wholly within the residence; or (ii) installed generally below the ridge line of the roof and of similar colour to the roof; or (iii) contained within the roof space between the ceilings of the residence and the underside of the roof of the residence.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.8	Evaporative cooling units must be colour matched to the roof, must not be visible from the street and the highest point of the unit must not exceed the peak ridge of the roof of the dwelling.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.9	Satellite dishes and antennas must be positioned so they are not visible from the street.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.10	Solar panels should be located out of public view. In the case that the most efficient position is within public view, solar panels will be assessed by Wolfdene Design Review Committee in regards to form and scale.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.11	Provisions must be made for the storage of rubbish and recycling bins in areas that are accessible but not within public view.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.12	Clotheslines must be located out of public view.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.13	Rainwater tanks, hot water units, ducted heating units and similar services must also be screened or out of public view.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.14	This neighbourhood is to be optic fibre ready. Your home will need to be fitted with the correct telecommunication and internet services.	<input type="checkbox"/>	N/A
6.4.15	Gas storage or gas instantaneous hot water system must be installed.	<input type="checkbox"/>	<input type="checkbox"/>
6.4.16	Rubbish disposal containers and washing lines must be screened from public view.	<input type="checkbox"/>	<input type="checkbox"/>
<b>6.5 SITE MANAGEMENT &amp; MAINTENANCE</b>			
<b>HEAVY VEHICLES</b>			
6.5.1	Trucks or commercial vehicles (greater than 1 tonne) shall be out of public view when parked or stored. Recreational vehicles (e.g boats and caravans) are permitted to be parked or stored within public view so long as they are located on a side boundary, on a hard surface perpendicular to the primary street.	<input type="checkbox"/>	N/A
<b>MAINTENANCE</b>			
6.5.2	The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot unless the rubbish is neatly stored in a suitably sized industrial bin or skip.	<input type="checkbox"/>	N/A
6.5.3	The purchaser must not allow excessive growth of grass or weeds upon the lots.	<input type="checkbox"/>	N/A
6.5.4	Bins must be removed from the street on the same day as the scheduled collection day.	<input type="checkbox"/>	N/A
6.5.5	Internal window furnishings which can be viewed from the street must be installed within three months of receiving your Certificate of Occupancy.	<input type="checkbox"/>	N/A
<b>SIGNS &amp; ADVERTISING</b>			
6.5.6	No advertising signs including 'For Sale' or 'For Lease' signs may be erected by the Purchaser at any time on a vacant lot.	<input type="checkbox"/>	N/A
6.5.7	Builder's signs may be permitted (600mm <sup>2</sup> maximum) during construction only and must be removed on completion of building works or may remain with the Developer's written permission.	<input type="checkbox"/>	N/A



# 7 | DESIGN ELEMENTS ANNEXURE



# Annexure 1

## YANCHEP JUNCTION RESTRICTIVE COVENANTS

Lot \_\_\_\_\_, YANCHEP JUNCTION

The Transferee covenants with the Transferor:

(1) NOT to construct, erect or install or permit to be constructed, erected or installed on the land hereby transferred ("the land"):-

- (a) A residence or any alteration or addition to a residence:-
  - (i) which does not have a front elevation comprised of a minimum of two different wall materials or two different wall colours;
  - (ii) subject to paragraph (i) using wall materials which are not either predominantly painted or rendered concrete, rendered masonry, clay bricks, limestone, natural coloured concrete blockwork, split face block feature walls, timber or weatherboard which has a stained or painted finish, fibre cement cladding, metal deck cladding custom orb and/or mini orb, reverse brick veneer or composite materials (including a mixture of fibre cement products) or other similar material finished in facework or render provided that each of those materials used comprises not less than ten per centum (10%) of the total front elevation wall area (excluding windows) of the residence; and
  - (iii) using roof materials which are not concrete or clay tiles or colorbond with a non-reflective surface; and
  - (iv) using roof materials which include Zinalume metal and other reflective materials, red and orange colours;
  - (iv) which does not have a gas storage or gas instantaneous hot water system installed.
- (b) A residence which is not a permanent non-transportable private residence ("a residence") unless the completed residence is of comparable standard to a residence constructed insitu.
- (c) A residence which:
  - (i) has a pitched roof and the roof pitch is less than 24 degrees and 43 minutes (excluding any part of the roof which covers verandah areas);
  - (ii) has a skillion roof unless the skillion roof has a pitch of a minimum of 5 degrees and a maximum of 10 degrees; or
  - (iii) has a flat roof unless the flat roof has a pitch of less than 5 degrees and all edges of the roof are hidden by a horizontal parapet.
- (d) A residence which does not have a front façade containing either:
  - (i) a Gable; or
  - (ii) a Gablet; or
  - (iii) at least one arch to the brickwork of the front façade with projecting masonry corbels; or
  - (iv) an arch with projecting masonry corbels; or
  - (v) a portico that projects forward from the main roof of the front of the residence; or
  - (vi) projecting sill courses and/or contrasting sills; or

- (vii) a verandah with a minimum depth of 1500 millimetres which comprises a minimum of 50 per centum of the front elevation of the residence; or
- (viii) a feature blade wall; or
- (vii) a cement render finish to the walls of the front elevation of the residence.

- (e) A residence which does not contain a carport or garage making provision for parking of at least two motor vehicles side by side and does not contain a front door.
- (f) A carport or garage, which, if not located under the main roof of the residence:-
  - (i) is not made of the same materials as the residence; or
  - (ii) does not match or complement the residence, in respect of the pitch of the roof, materials used, the design and external appearance including colour and the quality of construction.
- (g) Any outbuilding structure with walls and a roof exceeding 20 square metres which has a flat roof unless the structure is made of the same materials as the residence, the roof is shielded from front view by parapet walling and the structure otherwise matches or complements the residence in respect of materials used, the design and external appearance, including colour and the quality of construction.
- (h) Any shed or other outbuilding which has walls made of or coated with zinalume or other reflective material.
  - (i) A garage that is an outbuilding:
    - (i) the roof pitch of which is not the same as the main dwelling;
    - (ii) which is not completed in conjunction with the main residence; and
    - (iii) which does not have driveway and crossover fully constructed to the garage door.
- (j) A residence, unless a driveway and crossover between the road and parking area on the land are constructed and completed at the same time as, or prior to, occupation of the residence.
- (k) A driveway which:
  - (i) is wider than 6 metres at the street boundary of the land;
  - (ii) is less than 5 metres in width at the street boundary of the land;
  - (iii) is less than 0.6 metres from any side boundary of the land;
  - (iv) is not constructed of brick paving, an exposed aggregate or a textured coloured concrete product;
  - (v) is constructed of grey grano concrete or is red or orange in colour; or
  - (vi) has a crossover which does not abut each side of the footpath, where a footpath is installed.
- (l) Subject to paragraph (m), any side or rear boundary fence unless it is:-
  - (i) capped and painted on both sides in Woodland Grey coloured paint and is constructed of materials known as colorbond; or
  - (ii) constructed of masonry or brick which complements the dwelling and streetscape.
- (m) Subject to paragraph 1(m), any fence which is less than 1800 millimetres in height or does not match or complement the residence or, which extends forward of a 500mm set back from the building line and 2metres set back from the building line on a corner boundary.

- (n) If the land is serviced by and abuts a rear access lane, any fence which extends forward of the building frontage setback line unless it:-
    - (i) is constructed of the same materials as the walls of the residence, or is an open timber picket fence
    - (ii) has a maximum open height of 750mm; or
    - (iii) has a maximum solid height of 750mm.
  - (o) A residence unless all side and rear boundary fencing is constructed and completed at the same time as or prior to occupation of the residence.
  - (p) A letter box which is not located adjacent to the driveway, is not clearly numbered or does not match or complement the residence.
  - (q) An air conditioner or evaporative cooler, unless:-
    - (i) contained wholly within the residence; or
    - (ii) is installed generally below the ridge line of the roof and is of similar colour to the roof; or
    - (iii) contained within the roof space between the ceilings of the residence and the underside of the roof of the residence.
  - (r) A solar hot water heater, unless it fits the roof profile and is not elevated at any angle to the roof profile and otherwise matches or complements the residence.
  - (s) A clothes line, rain water tank, rubbish disposal container or gas hot water system except in accordance with the manufacturer's instructions and which is not screened from public view.
- (2) NOT to:
- (a) park or allow to be parked on the land or on the road or on any other land near to or next to the land, any commercial vehicles (which have an aggregate weight greater than 3.5 tonnes or a height greater than 2.0 metres) or caravans, trailers, boats or any other mobile machinery ("vehicles") unless the vehicles are housed or contained wholly within a carport or garage on the land or are screened from public view; or
  - (b) park or allow to be parked on the land or the road or on any other land near to or next to the land and caravan, trailers, boats or any other mobile machinery which have an aggregate weight greater than 3.5 tonnes or a height greater than 2.0 metres which are used wholly or predominantly for recreational purposes unless those vehicles are either:
    - (i) housed or contained wholly within a carport or garage on the land or are screened from public view; or
    - (ii) parked or contained on a hard surface on a side boundary that is perpendicular to the primary street.
  - (c) carry out any repairs to or restoration of any vehicles parked on the land or on the road or on any other land near to or next to the land unless such repairs or restoration is carried out wholly within a carport or garage on the land or is screened from public view.

- (3) That where retaining walls or fences have been erected on any of the boundaries of the land by the Transferor, NOT to alter or remove any or the retaining walls or fences, NOT to allow or permit the retaining walls or fences to fall into a state of disrepair, and NOT to repair or renew such retaining walls or fences except in the same style and colour as the existing retaining walls and fences.
- (4) That if retaining walls or fences have been erected on any of the boundaries of the land by the Transferor, NOT to alter the level of the surface of the land by elevating the level by more than 100mm
- (5) Except for any residence specifically constructed for display purposes, NOT to erect or display or cause to be erected or displayed on the land any sign hoarding or advertising of any description whatsoever other than a sign erected by a builder of the residence in accordance with the Builders Registration Act or a "FOR SALE" sign which may be erected after completion of a residence ,driveway, crossover, front yard landscaping fencing and return fencing /gate from the side boundary to the residence.
- (6) Except for any residence specifically constructed for display purposes, NOT to use or open or allow to be used or opened, any residence erected on the land for display purposes.
- (7) Not to breach or cause to be breached the Yanchep Junction Design Handbook relating to the land a copy of which is annexed hereto and marked "3".
- (8) Not to remove any footpath or part of a footpath.
- (9) That the covenants herein contained shall operate and be enforceable until the day being fifteen (15) years after the date of issuing of the Certificate of Title to the land when such covenants will cease to have any further effect.
- (10) That the burden of these covenants shall run with each lot on the plan or diagram of subdivision for the benefit of every other lot on that plan or diagram. The covenants shall be enforceable against the Transferee and every subsequent registered proprietor of the land, by the Transferor and every subsequent registered proprietor of any other lot on the said plan or diagram of subdivision.  
 The restrictive covenants are entered into for the benefit of all Buyers of lots on the relevant Deposited Plan of Subdivision and are enforceable by all owners.  
 Each Buyer must therefore comply with and observe the restrictive covenants. The Seller accepts no responsibility for enforcement of the restrictive covenants, but does have and reserves the right to do so, so long as it is the registered proprietor of a lot on the relevant Deposited Plan.  
 The Buyer agrees that prior to commencement of any construction on the land, the Buyer shall submit plans and specifications to the Seller or it's agents for approval. Approval shall automatically be given if such plans and specifications comply with the covenants hereinbefore contained.



- (11) For the purposes of these covenants:-
- (a) **“Gable”** means a triangular portion of the external wall between the enclosing lines of a pitched roof from eaves level to the apex;
  - (b) **“Gablet”** means a small Gable, such as in a Gambrel Roof;
  - (c) **“Gambrel Roof”** means a roof having a small Gable near the apex of a hipped end;
  - (d) **“outbuilding”** means a building or buildings erected or constructed on the land which is not part of the residence, the carport or the garage.
  - (e) **“Portico”** means a narrow verandah or colonnade projecting from the front entrance of the dwelling;
  - (f) **“primary street”** means the street which is directly opposite the main front door of the residence; and
  - (g) **“residence”** means a building constructed for private residential occupation which may be a single residence or part of a duplex or other multiple development and may be more than one storey in height, depending on the density requirements of the City of Wanneroo and WAPC.
  - (h) **“secondary street”** means a street which runs along the side of the residence and is not a primary street.

Buyer \_\_\_\_\_

Buyer \_\_\_\_\_

Witness \_\_\_\_\_

Witness \_\_\_\_\_

Date \_\_\_\_\_

Date \_\_\_\_\_

Signed by the Seller:

Seller \_\_\_\_\_

Witness \_\_\_\_\_

Date: \_\_\_\_\_



Disclaimer: While best endeavours have been used to provide information in this publication that is true and accurate, Wolfdene and related entities accept no responsibility and disclaim all liability in respect to any errors or inaccuracies it may contain. Prospective purchasers should make their own inquiries to verify the information contained herein.